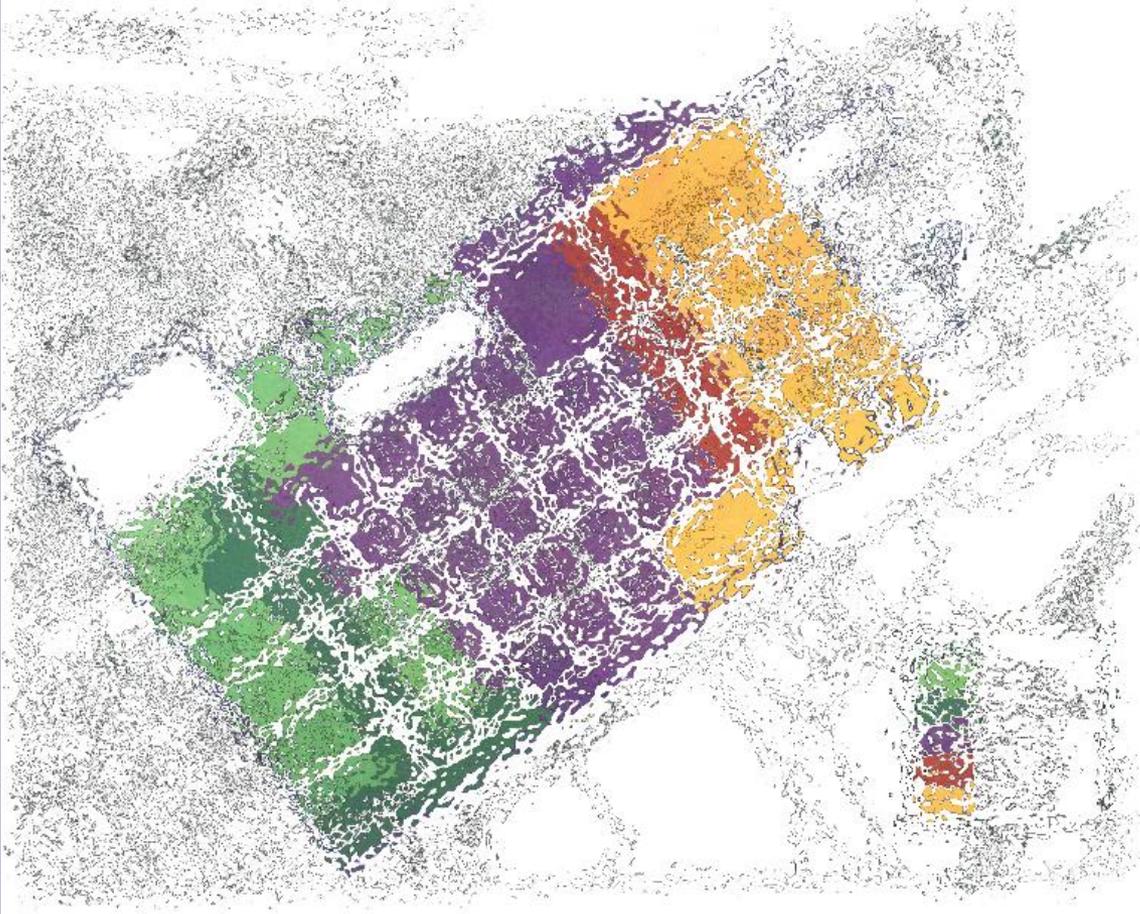


# Form Based Codes



2016 Western Planner & Montana Association of Planners Conference

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**GREAT FALLS**

MONTANA  
August 10 -12, 2016

August 2016

# City-County Planning Division – Billings, MT

Nicole Cromwell, AICP

Zoning Coordinator

247-8662 – [cromwelln@ci.billings.mt.us](mailto:cromwelln@ci.billings.mt.us)

Zoning Code online – City of Billings:

<http://ci.billings.mt.us/2002/Zoning-Code-Online>

Form Based Code - Section 27-1800

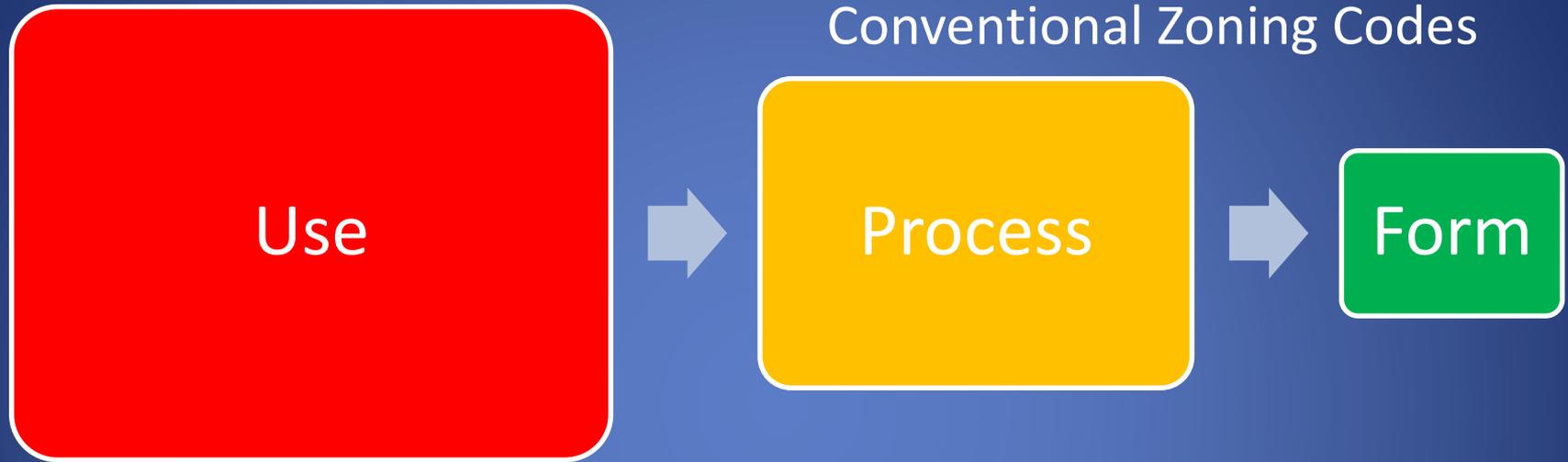
Form Based Codes Institute

<http://formbasedcodes.org/>

First:

# A bit about Zoning Codes

Conventional Zoning Codes



Form Based Zoning Codes



All the colors don't  
need to line up





Separating  
these



Can lead to eliminating this

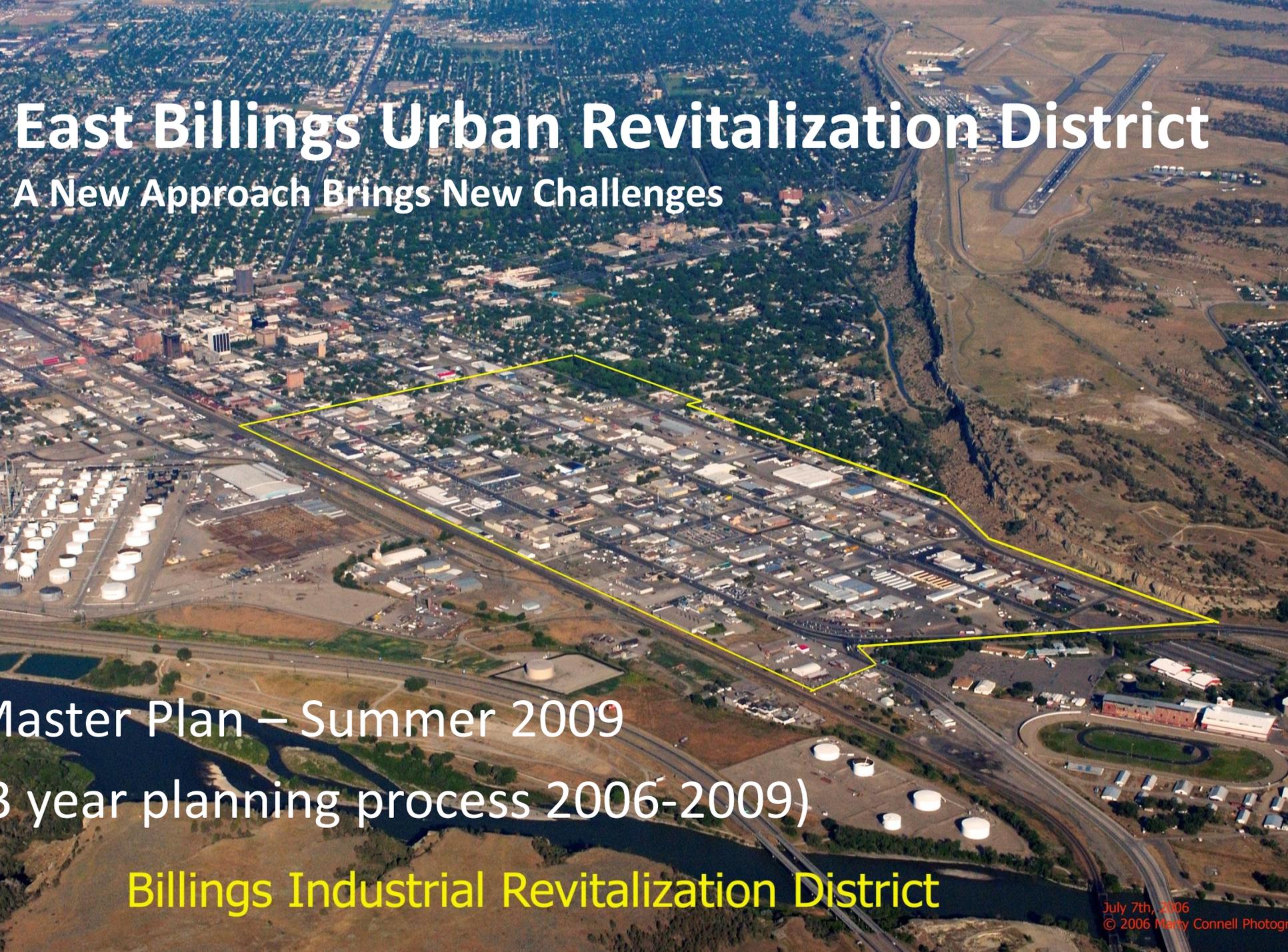
## Second: Form Based Codes have.....

- Building Form Standards
- Frontage Type Standards
- A Regulating Plan
- Public Space or Public Realm Standards

# Third: Form Based Codes .....

- Are based on a deep knowledge of a place
- Flow out of a master plan or area plan
- Establish a clear vision of how a place will look & function
- Allow for continuous change



An aerial photograph of the East Billings Urban Revitalization District. A yellow line outlines a large, irregularly shaped area in the center of the city, encompassing a dense grid of residential and commercial buildings. To the left, there is an industrial area with several large white storage tanks. To the right, a river flows through a hilly, less developed area. In the foreground, a highway and a racetrack are visible. The overall scene shows a mix of urban development and natural landscape.

# East Billings Urban Revitalization District

A New Approach Brings New Challenges

Master Plan – Summer 2009

3 year planning process (2006-2009)

**Billings Industrial Revitalization District**

# From Community Vision to Code

The Vision – Imagine living, working and recreating in downtown Billings in the revitalized EBURD urban neighborhood – an economically vibrant place that attracts diverse residents and businesses and receives national notoriety for sustainable products and practices.

EAST BILLINGS URBAN  
RENEWAL DISTRICT  
MASTER PLAN

Prepared For:  
Big Sky Economic  
Development Authority



07.02.09

# The EBURD Form Based Code

The EBURD Code took the vision and carried it beyond conventional zoning and regulation to achieve flexibility, redevelopment options, opportunities to bring people and services to the community core.

# Billings' Hybrid Form-Based Code

- Assembled a working group & steering committee
- Advertised for an experienced firm
- Developed the base map and districts from the Master Plan
- Initial presentation and design charrette by consultant – gathering the DNA of EBURD
- Continuous learning process – zero to 85 mph in a few months
- Monthly review of draft documents with steering committee
- Final public presentation to “kick the tires”
- 18-month process to adoption of new code



# Uses in EBURD

(Yes – there are still uses)

- Permitted by right
- Permitted in upper stories only
- Permitted by right with specific development or design parameters
- Require Special Review
- Unlisted similar use – Zoning Coordinator may interpret
- Unlisted dissimilar use – not permitted

# Use Table by District

Uses	EBURD Districts				
	Rail Spur Village Main Street	Rail Spur Village	Central Works	13th Street Main Street	Industrial Sanctuary
<b>KEY</b>					
	●	●	●	●	●
	◐	◐	◐	◐	◐
	◑	◑	◑	◑	◑
	○	○	○	○	○
	○	○	○	○	○
<b>Residential &amp; Lodging</b>					
<b>Residential</b>	◐	●	●	◐	
<b>Lodging &amp; Residential Care</b>	◐	●	●	◐	
<b>Civic</b>					
<b>Assembly</b>	◐	●	●	◐	●
<b>Hospital</b>	◐	●	●	◐	●
<b>Library/Museum</b>	●	●	●	●	●
<b>Police and Fire</b>	●	●	●	●	●
<b>Post Office</b>	●	●	●	●	●
<b>School</b>	◐	●	●	◐	●

# Tables of Typical Uses

- Examples of typical uses in the following categories are provided:
  - General retail
  - General service
  - Mixed Use (retail, residence, office, etc.)
  - Office
  - Craftsman industrial
  - General manufacturing
  - Warehousing and distribution
  - Heavy manufacturing



# The “Forms”



AKA – Frontage Types – the EBURD DNA

- Yard Frontage
- General Stoop
- Storefront
- Limited Bay
- Commerce
- Open Frontage
- Civic Frontage
- Commercial Outdoor Site

		EBURD Districts				
		Rail Spur Village Main Street	Rail Spur Village	Central Works	North 13th Street	Industrial Sanctuary
Frontage Types	Yard Frontage		●			
	General Stoop		●	●		●
	Storefront	●	●	●	●	●
	Limited Bay		●	●	●	●
	Commerce			○		●
	Open Frontage					●
	Civic Frontage	●	●	●	●	●
	Commercial Outdoor Site		○	●	●	●

● = Permitted Boulevard ○ = Permitted Only on Boulevard Street Type

Table 27-1808-1. Permitted Frontage Types by District

# The “Forms”



**Yard Frontage**



**Outdoor Site**

- Each District allows certain forms

## “Function Follows Form”



**Limited Bay**



**Civic Frontage**



**Storefront**



**Open Frontage**



**General Stoop**



**Commerce**



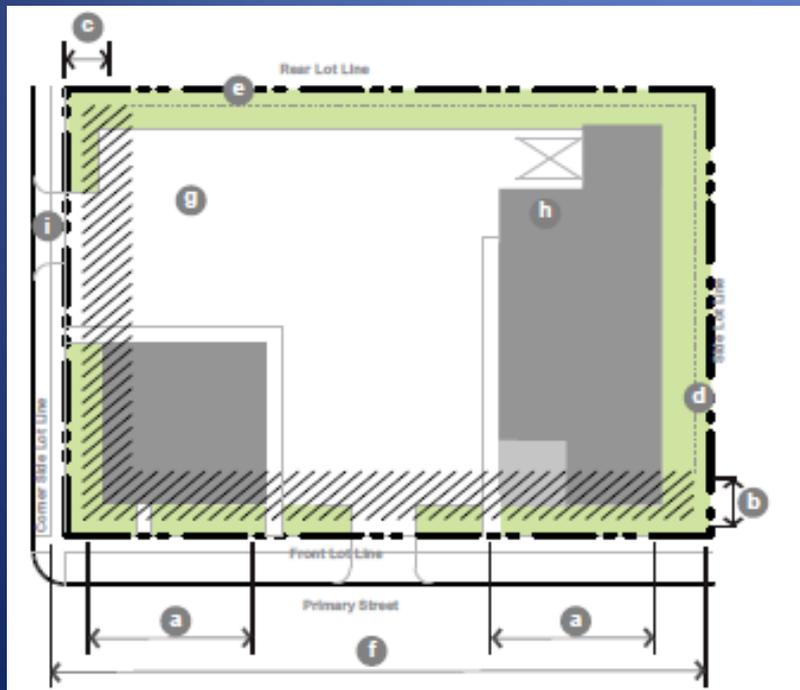
Commerce

# The “Forms”



Commerce – the most common existing Form throughout EBURD

- Code now restricts this Form to Industrial Sanctuary and certain streets in Central Works



## NOTES:

Dark shade = building

Green = Landscape

White = parking & auto

Letters = refer to area requirements

– the build-to zone, lot frontage

coverage, vehicle entrances, etc.



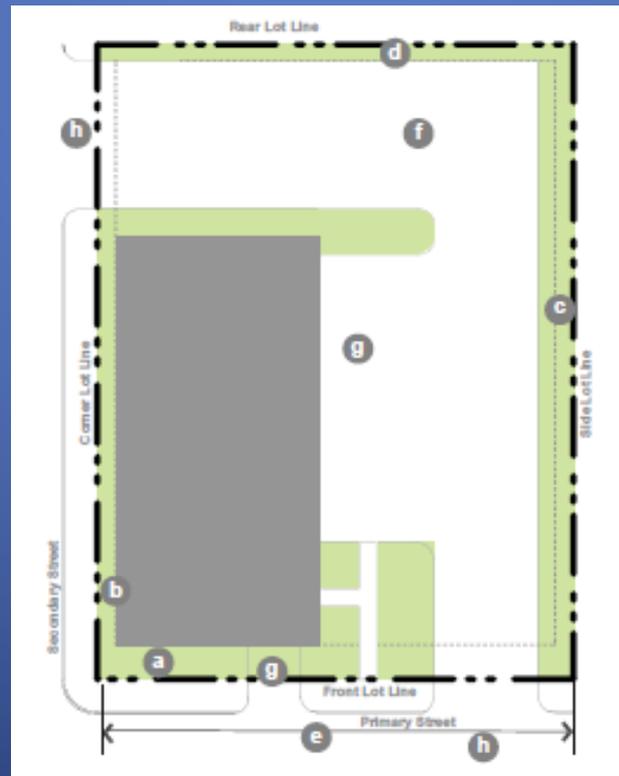
# The “Forms”



Open Frontage

Open Frontage – 2<sup>nd</sup> most common existing Form throughout EBURD

- Code now restricts this form to Industrial Sanctuary



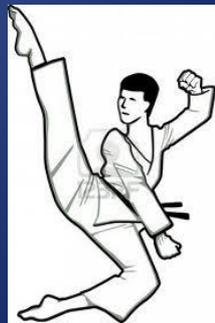
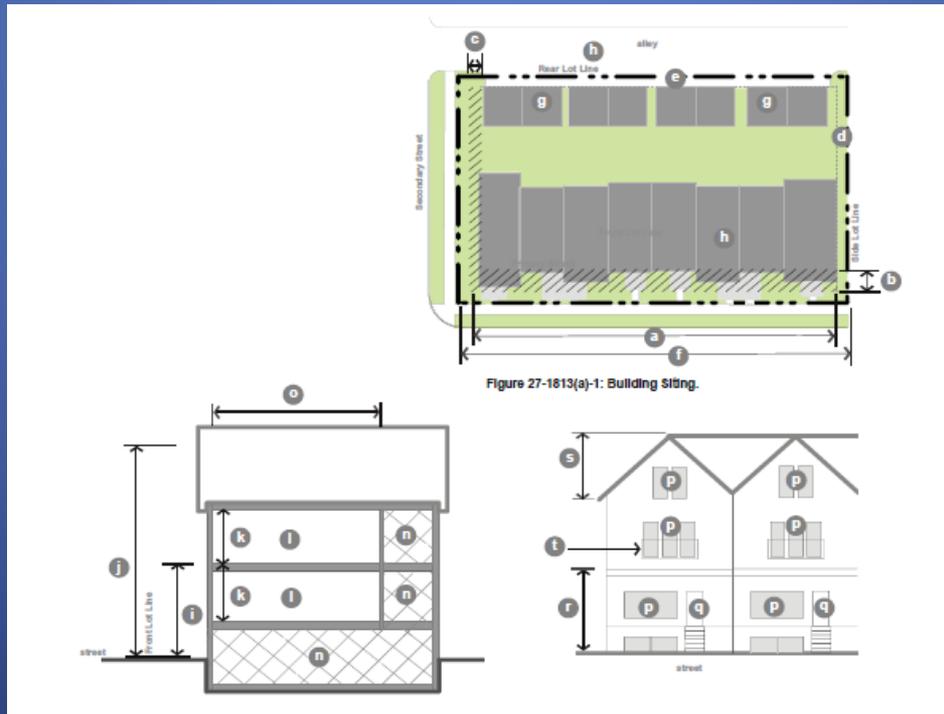


# The “Forms”



Yard Frontage – Allowed only in Rail Spur Village

- Form suits attached residential dwellings, service business and offices



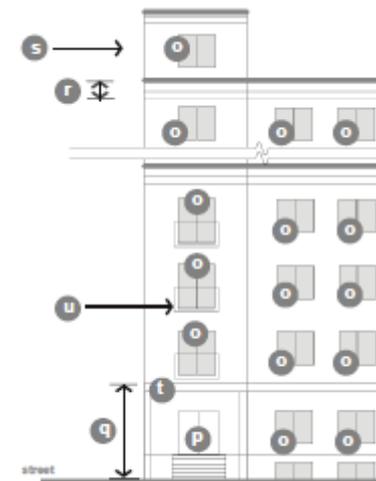
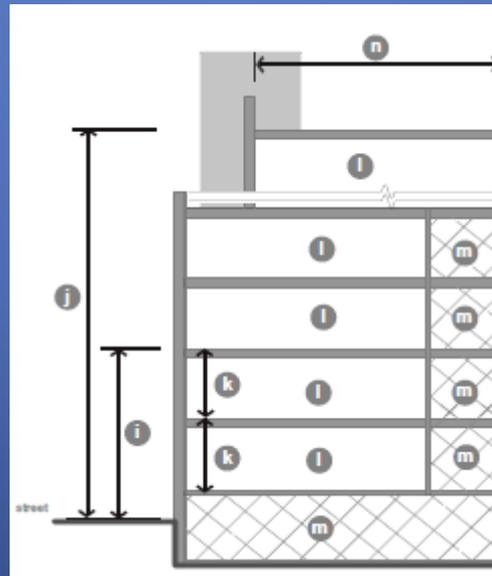


# The “Forms”



General Stoop – Allowed in Rail Spur Village, Central Works & Industrial Sanctuary

- Form complements mixed uses – stacked uses – single use buildings



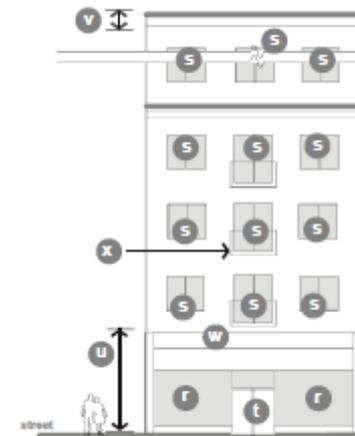
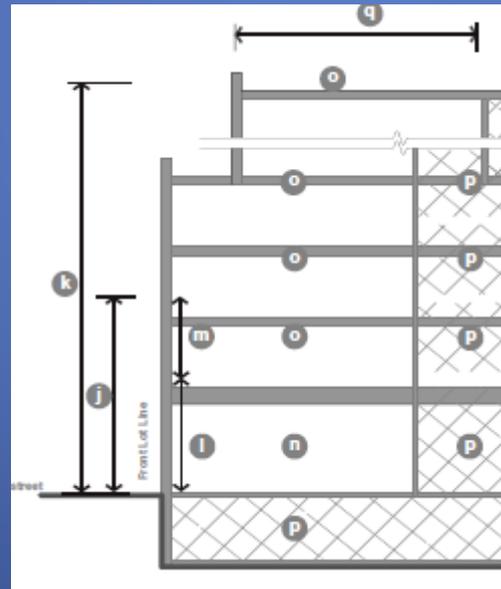
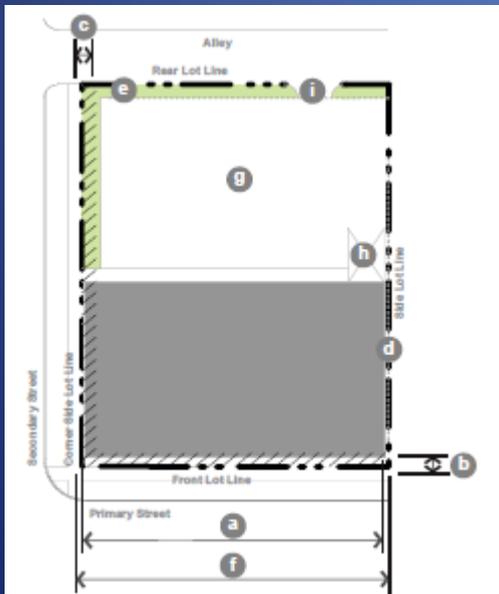


# The “Forms”



Store Front – Allowed in All districts

- Form fits with ground floor retail - mixed uses – stacked uses



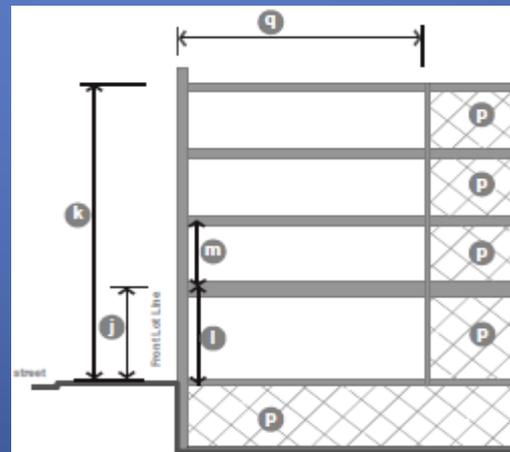


# The “Forms”



Limited Bay – Allowed in All districts except Rail Spur Village Main Street

- Form is good for vehicle services – stacked uses



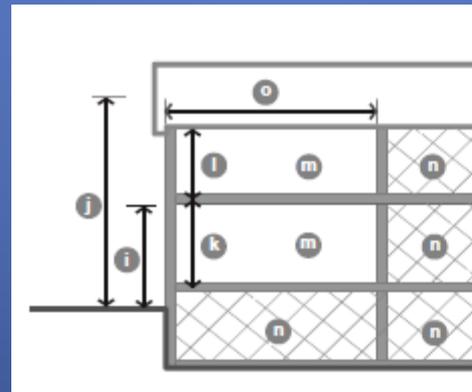
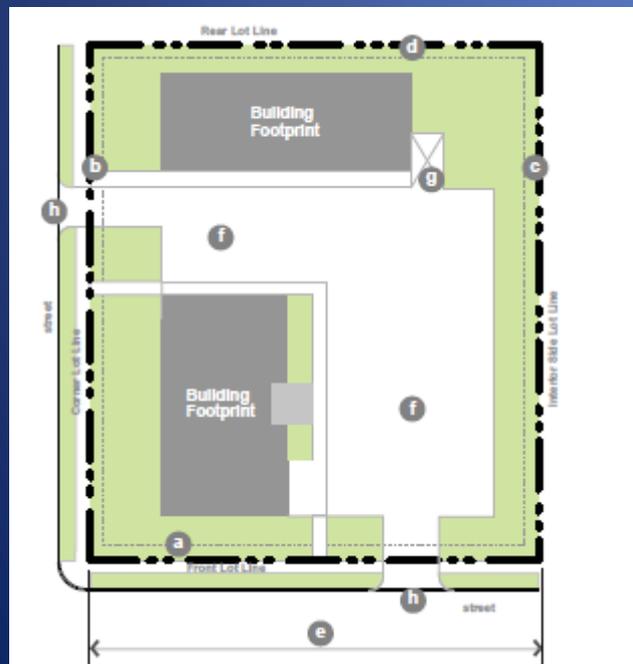


# The “Forms”



Civic Building – Allowed in All districts

- Form tailored for Public Buildings, Hospitals, Churches and other Institutional uses



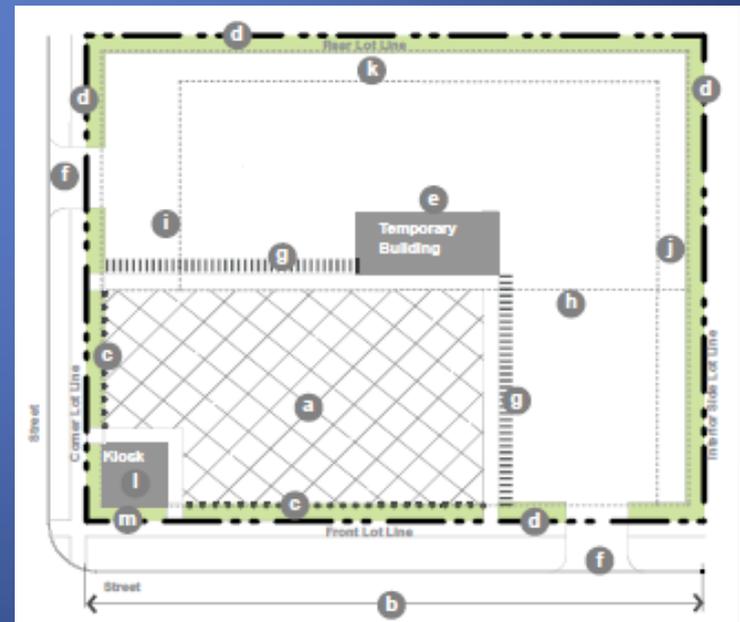


# The “Forms”



Commercial Outdoor Site – Allowed in Rail Spur Village on certain streets, Central Works, N 13<sup>th</sup> Street & Industrial Sanctuary

- Form suits car sales & other outdoor display for merchandise



# The “Forms”



- Each Form has specific standards that must be met:
  - Where the building is set
  - How much area can be covered
  - Where the parking is located (if any)
  - Building height minimum & maximum (in stories)
  - How the building looks from the street – number & size of windows, where the entrance is located, type of entrance, dividing the façade, balconies, and type of roof



# The “Forms” Building Siting

Corner build-to line (c)

Rear setback (e)

Side setback (d)

Front build-to line (b)

Front lot coverage (a)

Min & max lot width (f)

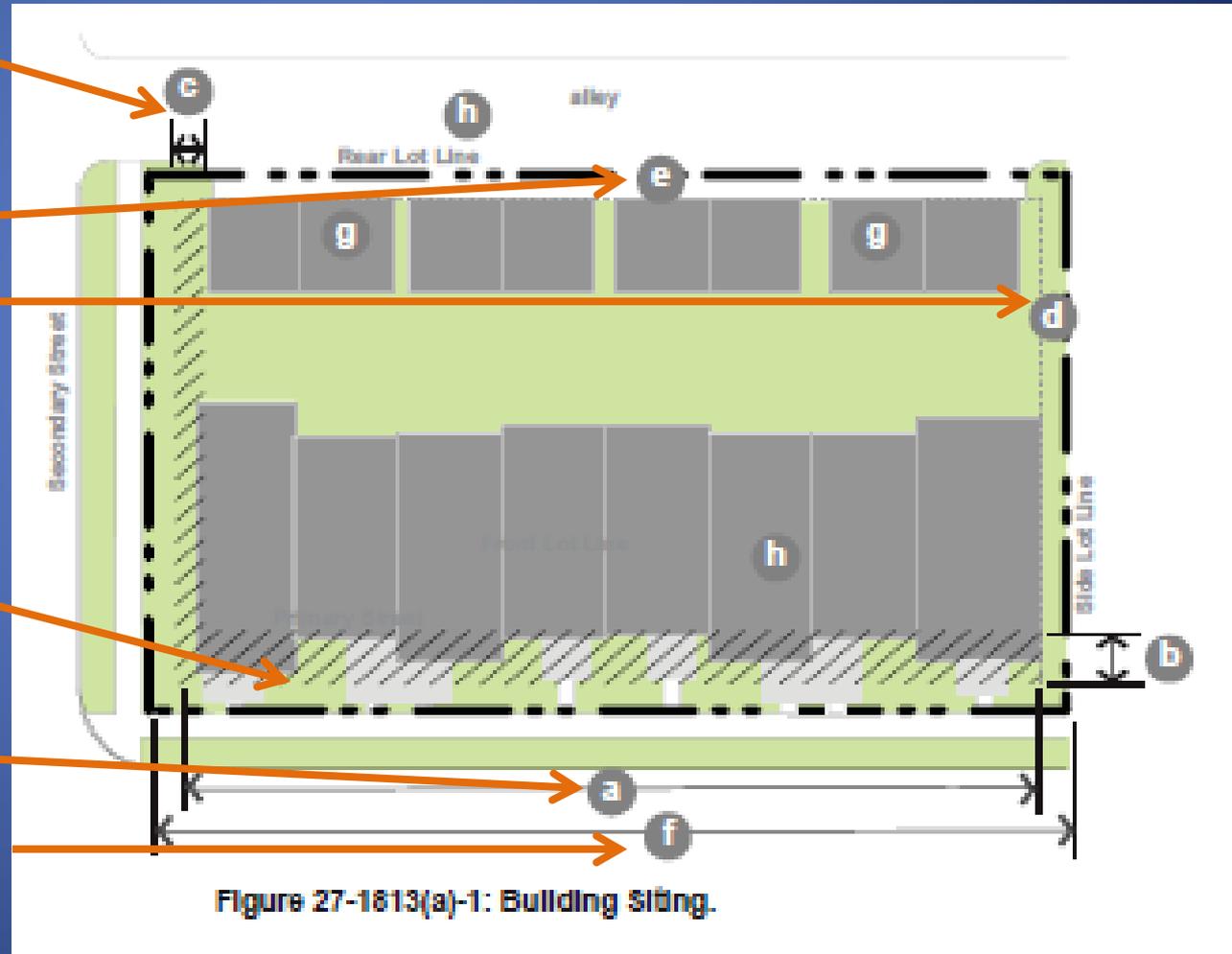


Figure 27-1813(a)-1: Building Siting.



# Other "Form" stuff

## Front Entries

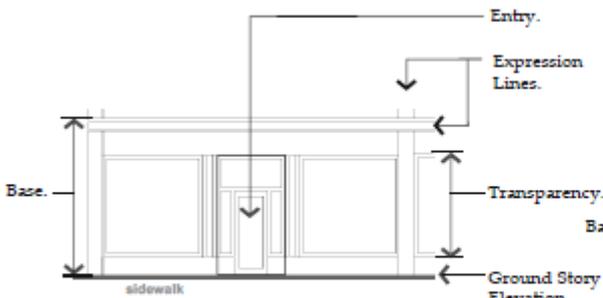


Figure 27-1809(b)-1. Storefront Entrance Type.

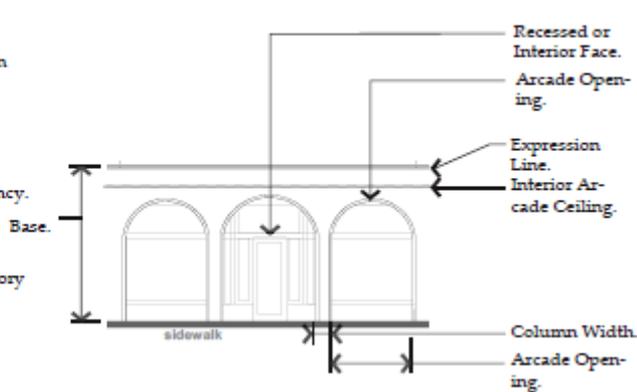


Figure 27-1809(c)-1. Arcade Entrance Type.

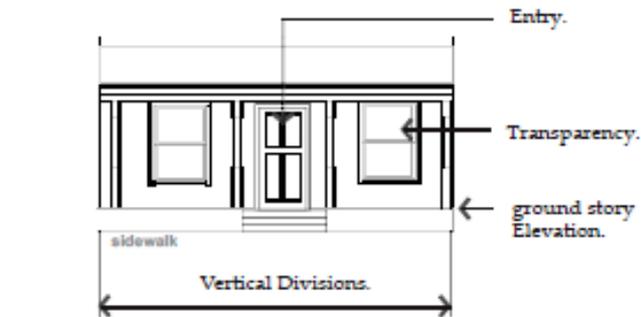


Figure 27-1809(e)-1. Porch Cap

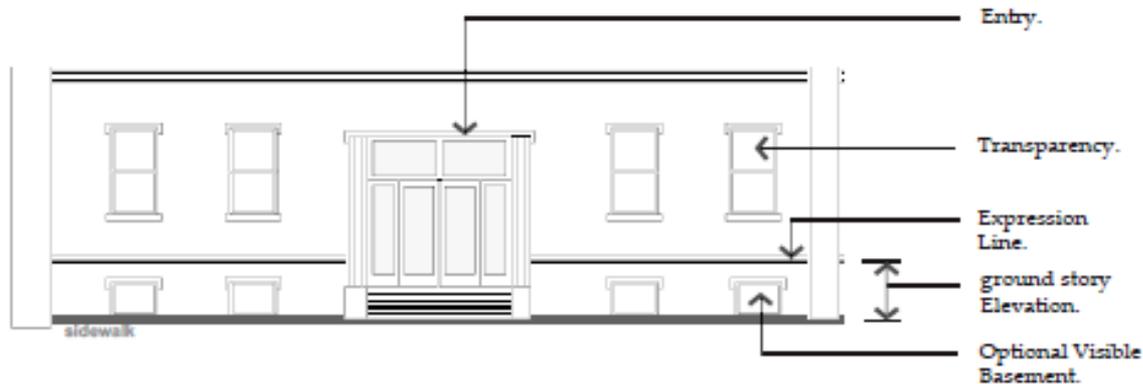


Figure 27-1809(d)-1. Stoop Entrance Type.

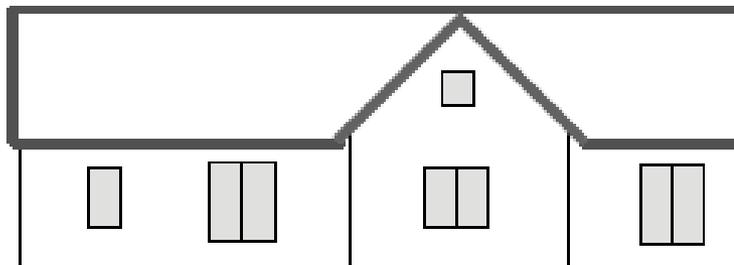
# Other “Form” stuff



## Roof Types

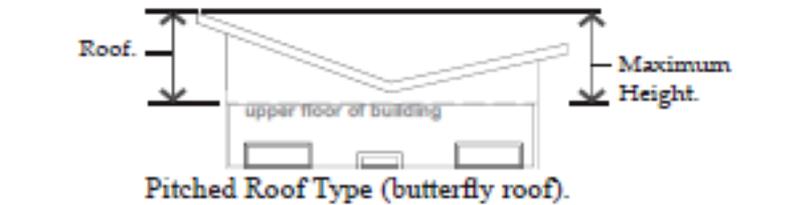


Figure 27-1810(b)-1. Parapet Roof Type.

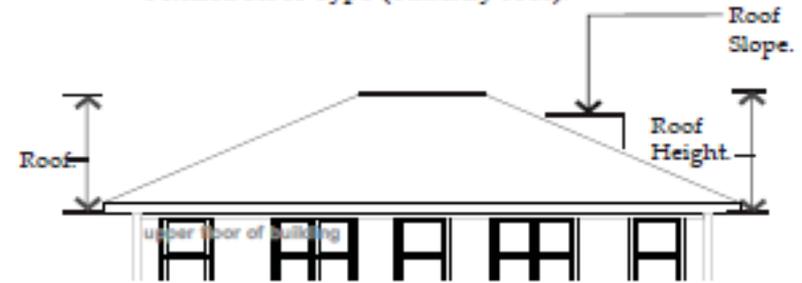


Parallel Ridge Line with gable

Figure 27-1810(c)-2. Parallel Ridge Line.



Pitched Roof Type (butterfly roof).



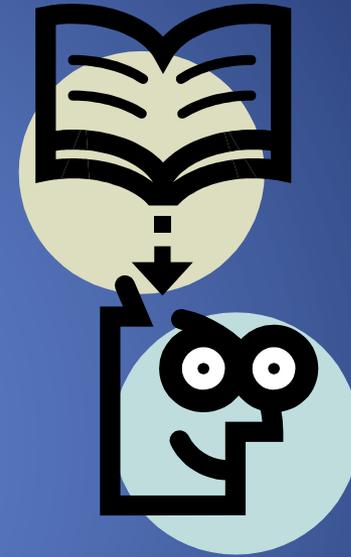
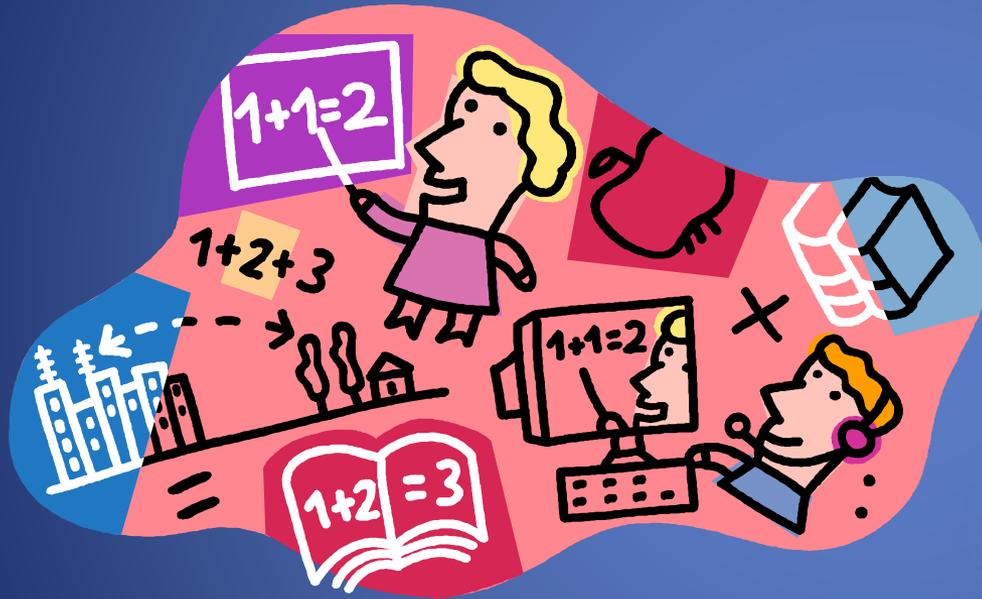
Pitched Roof Type (hip roof).



Pitched Roof Type (gable roof).

Figure 27-1810(c)-1 Pitched Roof Roof Type.

# Other "Form" stuff



# Development Standards Reaching for the Vision

- Street Types
- Parking Overlay
- Landscape Standards
- Sustainable Development Measures
- Signage



# Street Types – Section 27-1817

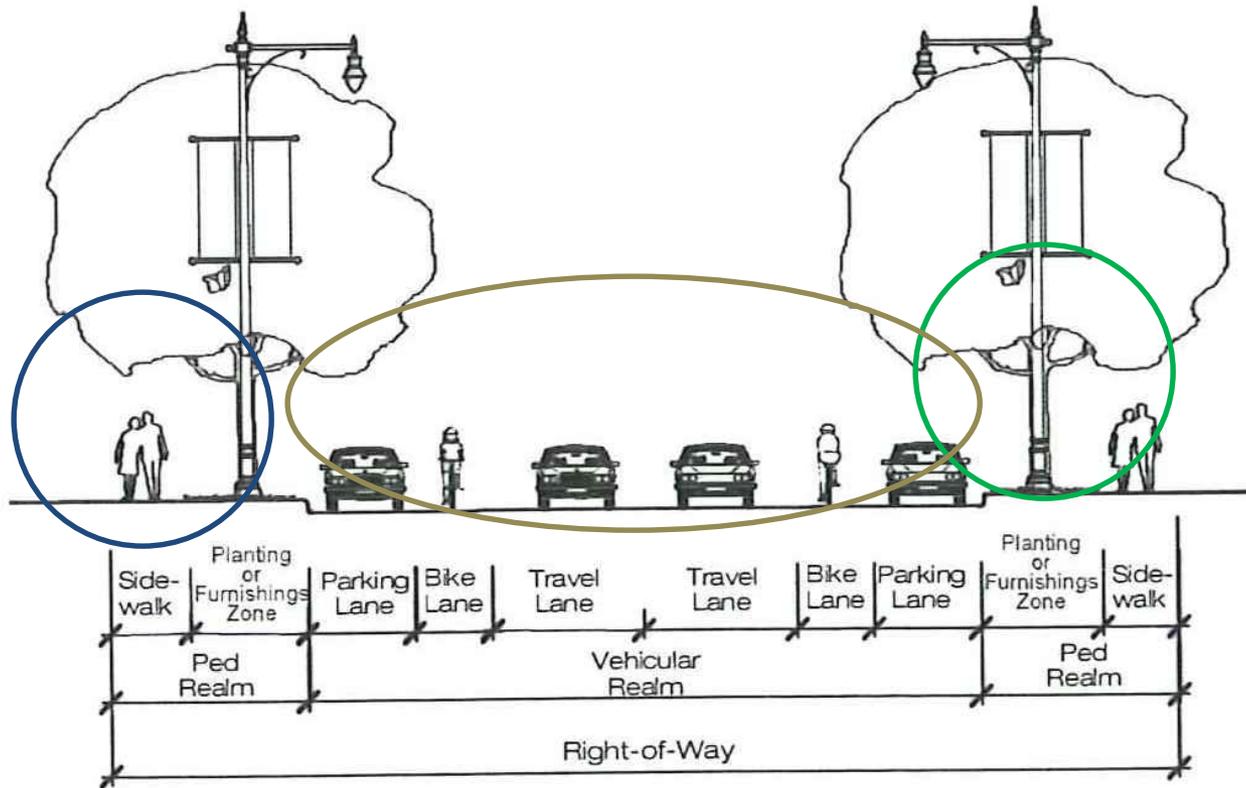


Figure 27-1817(b)-1: Typical Right-of-Way Elements.

# Street Types – Section 27-1817

## Article 27-1800. East Billings Urban Revitalization District Code

Vehicular Realm						
	Typical Right-of-Way Width (feet)	Travel Lanes	Lane Width (feet)	Allowable Turn Lanes	Parking Lanes	Pavement Width (feet) Back of Curb to Back of Curb
Alley	20'	1 yield lane	16' (yield)	None	Prohibited	Minimum 16', Maximum 20'
Neighborhood Street	80'	1 yield lane	20' (yield)	None	Parallel or back-in diagonal both sides	37'-48'
Connector	80'	1 lane in each direction	11'	Permitted in place of parking at intersections	Parallel or back-in diagonal both sides	39'-52'
Avenue	80'	Per the Department of Public Works, Engineering Division, or Montana Department of Transportation	12'	Permitted in place of parking at intersections	Parallel or back-in diagonal both sides	41'-54'
Boulevard	80'	Per the Department of Public Works, Engineering Division, or Montana Department of Transportation	11'	Permitted in place of parking at intersections	Both sides, parallel only	50'-60'

# Street Types – Section 27-1817

## Neighborhood Street

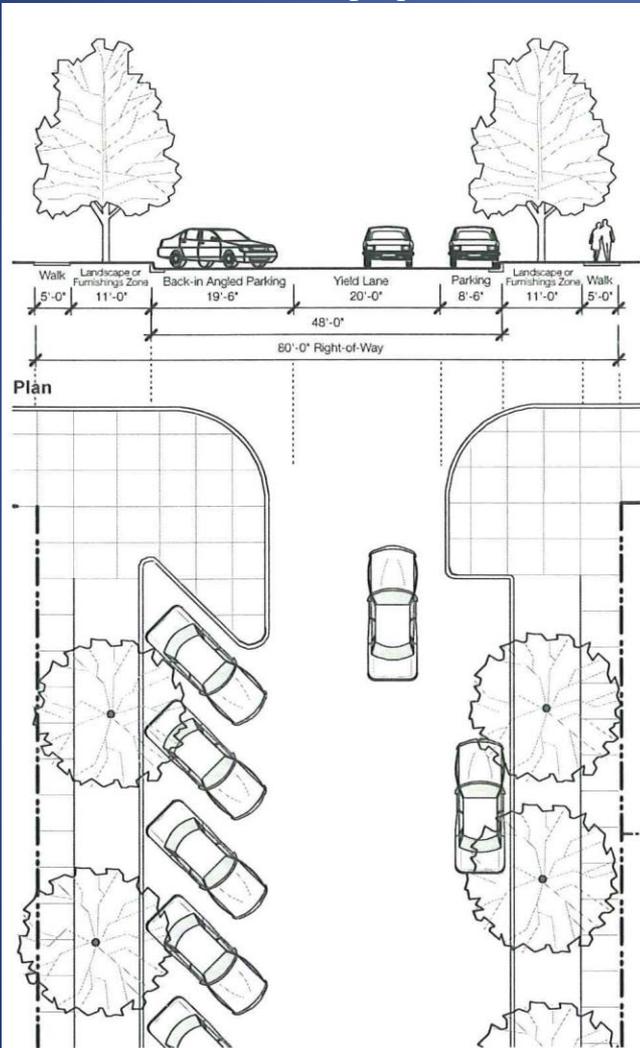


Figure 27-1817(h)-1: Typical Sample Neighborhood Street.

### Neighborhood Street Guidelines

Location Permitted adjacent to all districts

Typical Right-of-Way Width 80'

#### a. Vehicular Realm

Travel Lanes 1 yield lane

Lane Width 20' (two way yield)

Allowable Turn Lanes Permitted in place of parking and bulb out at intersections

Parking Lanes<sup>1</sup> Parallel or back-in diagonal on both sides

Pavement Width 37'-48'

Curbs Vertical

Median Prohibited

Bicycle Facilities<sup>2</sup> Shared

#### b. Pedestrian Realm

Pedestrian Facilities Minimum 5 feet wide clear sidewalk on both sides with bulbouts

Buffer Minimum 11' wide Planting Zone or Furnishings Zone both sides (refer to BMCC Sec. 27-1817((b)(4)b).

<sup>1</sup>Reference BMCC Sec. 27-1817(c)(7) for on-street parking requirements

<sup>2</sup>Reference BMCC Sec. 27-1817(c)(5) for bicycle facility types and requirements

Table 27-1817(h)-1: Neighborhood Street Guidelines.

# Parking Overlay

Applies to all property within the EBURD

- No minimum off-street parking spaces are required at the time of development, redevelopment, expansion, change of use or addition
- Where off-street parking spaces are developed, the design of such spaces and parking lots shall meet the city standards
- Property owner still must provide accessibility in compliance with the (ADA) standards

# Landscape Standards – Section 27-1815

## Landscape Area

- All unpaved areas landscaped
- Nonliving materials are permitted for up to 50%
- Landscape must be maintained seasonally, replanting as necessary

## Street Trees

- Each Lot is required to have 1 tree for every 40 feet of street frontage with a minimum of 1 street tree per street frontage

Landscaping is encouraged to shade paved areas, capture rain water, and make the public realm a pleasant area for walking and socializing

# Signage – Section 27-1816

EBURD Frontage Types

Sign Types	Yard Frontage	General Stoop	Storefront	Limited Bay	Commerce	Open	Civic	Outdoor Site
	Wall	●	●	●	●	●	●	●
Projecting		●	●	●	●	●	●	●
Awning	●	●	●	●	●	●	●	●
Canopy Mounted		●	●	●	●	●	●	●
Window			●	●	●	●		●
Monument	●	●		●	●	●	●	●
Ped. Scale Pole-Mounted	●	●		●	●	●	●	●
Pole-Mounted					●	●		○
● = Permitted      ○ = Permitted Only on Boulevard Street Type								

Table 27-1816-1. Sign Types permitted by Frontage Type.

# Signage – Section 27-1816

<b>Projecting Sign Requirements</b>	
Sign Area	No maximum area for sign type; Refer to Table 27-1816-2 for maximum per lot
Height	8' maximum sign length, 9' minimum clearance to walk required
Location on the Building or Site	Permitted on all facades; sign and structural supports shall not extend above the eave or parapet
Placement on the Building or Site	Shall not project over more than 2/3 the width of the sidewalk. (Refer to BMCC Sec. 27-1816(h)(4) for required permit)
Quantity	1 per tenant per public ROW frontage; 1 per tenant per side or rear facade on a parking lot
Internal Illumination	Permitted
Materials	Solid wood, metal, masonry & neon glass; Plastic & synthetics permitted only as separate alphanumeric characters or logos

Table 27-1816(h)-1. Projecting Sign Requirements.

# Sustainable Development Measures

- Applies to all developments
- Minimum of 5 points must be achieved
- Documentation of each measure required
- Measures Include:
  - Green Buildings (3 points)
  - Building Energy Efficiency (2 points)
  - Building Water Efficiency (2 points)
  - Landscaping Water Efficiency (2 points)
  - Renewable Energy Sources (2 points)
  - Green Roof (2 points)
  - Heat Island Reduction (2 points)
  - Pervious Pavement (2 points)
  - Bicycle Amenities (1 point)



# Approval Required

- Approval required for new developments – usually done through Building Permit review
- Existing buildings/developments can continue with some limitations:
  - There is no change in use
  - Number of dwelling units increases by <50%
  - Amount of gross floor area increases by <50%
- Any change to the front of a building within the “build-to” zone, must meet the frontage standards for the building type

# Recent EBURD Developments



# Recent EBURD Developments



# Recent EBURD Developments



# Coming Soon EBURD Developments

